



10345 PROFESSIONAL CIRCLE

RENO, NEVADA

A NEVDEx PROPERTY

FEATURES

- :: Class A, two-story office building offers maximum flexibility to accommodate tenant's needs
- :: Located in Northern Nevada's newest submarket, South Reno
- :: Floor-to-ceiling windows provide abundant natural light and views of Mt. Rose and the surrounding Sierra Nevada mountains
- :: High visibility signage facing I-580/US-395

COMMON AREA REMODEL
1ST QUARTER 2016

UNDER NEW
OWNERSHIP



FOR MORE INFORMATION ON NEVDEx PROPERTIES, PLEASE VISIT OUR WEBSITE: WWW.NEVDExPROPERTIES.COM

FOR MORE INFORMATION CONTACT:

David Woods, CCIM

T +1 775 321 4459

david.woods@cbre.com

www.cbre.com/david.woods

Matt Grimes, CCIM

T +1 775 356 6290

matt.grimes@cbre.com

www.cbre.com/matt.grimes



www.nevdexproperties.com





10345
PROFESSIONAL CIRCLE
RENO, NEVADA

FIRST FLOOR
COMMON AREA
REMODEL 1ST
QUARTER 2016

FIRST FLOOR ►



FIRST FLOOR
LOBBY ►





10345
PROFESSIONAL CIRCLE
RENO, NEVADA

SECOND FLOOR
COMMON AREA
REMODEL 1ST
QUARTER 2016

SECOND FLOOR
LOBBY ►



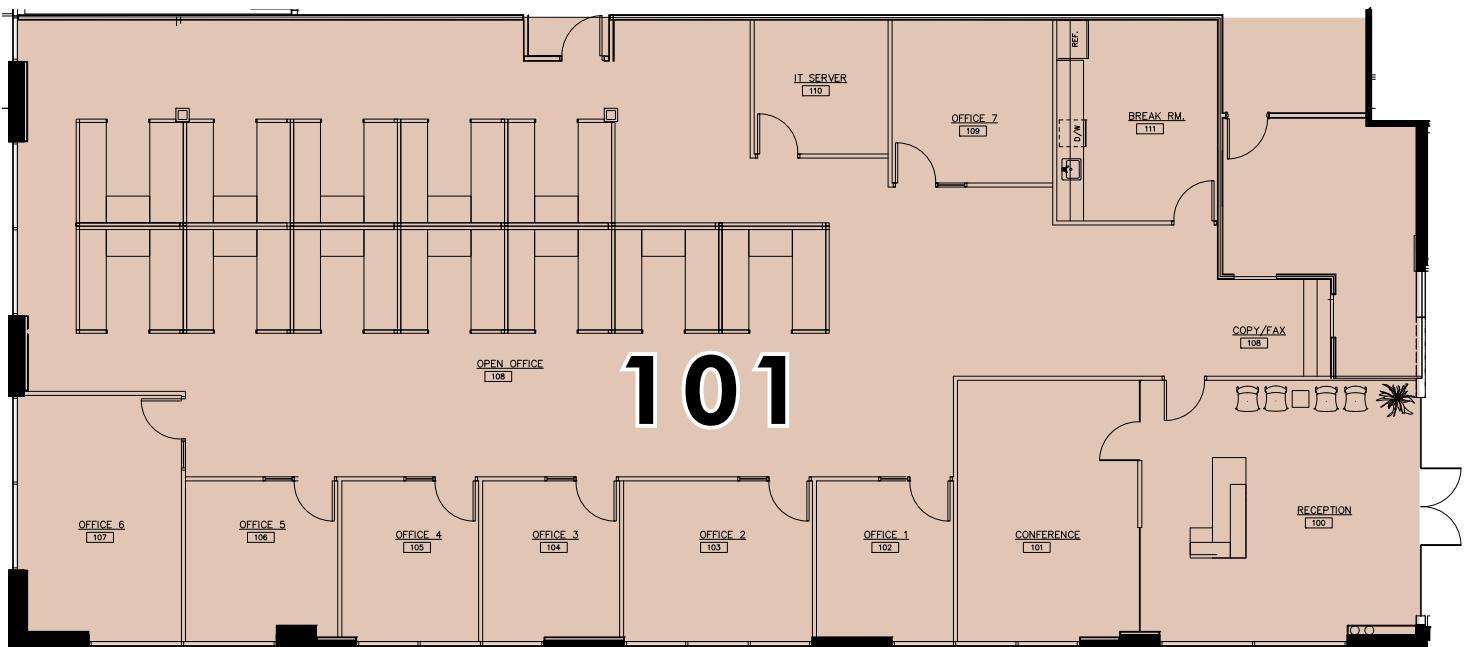
AVAILABILITY

FIRST FLOOR PLAN

:: Suite 101: ±5,403 SF (Hypothetical Lobby)



:: Suite 101: ±5,403 SF (Hypothetical Floor Plan)



FOR MORE INFORMATION CONTACT:

*FLOOR PLANS NOT DRAWN TO SCALE

David Woods, CCIM

T +1 775 321 4459

david.woods@cbre.com

www.cbre.com/david.woods

Matt Grimes, CCIM

T +1 775 356 6290

matt.grimes@cbre.com

www.cbre.com/matt.grimes



AVAILABILITY

SECOND FLOOR PLAN

:: Total Second Floor: ±18,612 SF (Available 1/1/16)

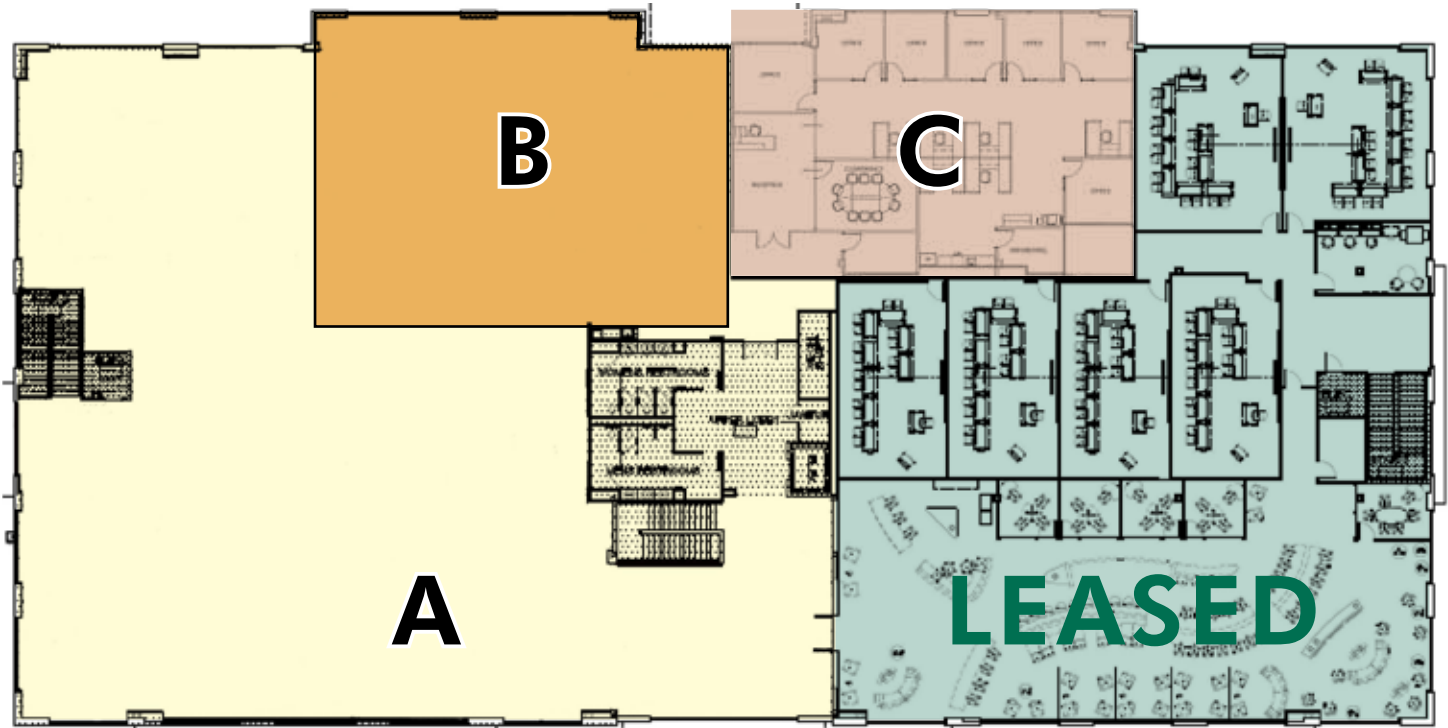
* Landlord can accommodate user between ±3,377 and ±18,612 SF

:: A: ±11,510 SF (Hypothetical Floor Plan)

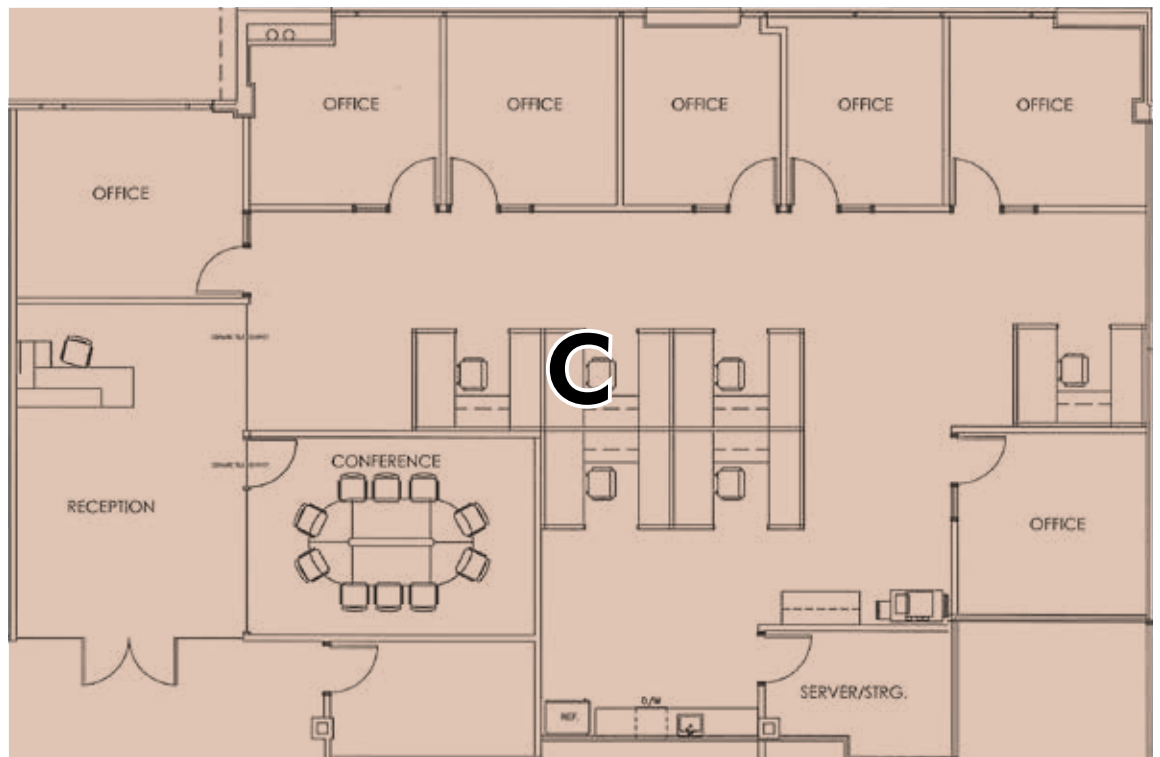
:: B: ±3,377 SF

:: C: ±3,725 SF (Hypothetical Floor Plan)

:: B+C: ±7,102 SF



:: C: ±3,725 SF
(Hypothetical Floor Plan)



*FLOOR PLANS NOT DRAWN TO SCALE

AVAILABILITY

SECOND FLOOR PLAN (HYPOTHETICAL)

:: A: ±11,510 SF (Hypothetical Lobby)



:: A: ±11,510 SF (Hypothetical Floor Plan)



*FLOOR PLANS NOT DRAWN TO SCALE





10345 PROFESSIONAL CIRCLE

RENO, NEVADA



LOCATION FEATURES

- :: Located in the South Reno, Northern Nevada's newest office submarket
- :: Surrounded by an impressive assortment of retail and restaurant amenities
- :: Easy access to I-580/US-395 on/off ramps
- :: Premium freeway visibility and building signage available

FOR MORE INFORMATION PLEASE CONTACT

David Woods, CCIM

T +1 775 321 4459

david.woods@cbre.com

www.cbre.com/david.woods

Matt Grimes, CCIM

T +1 775 356 6290

matt.grimes@cbre.com

www.cbre.com/matt.grimes

CBRE, Inc. | 6900 S McCarran Blvd, Ste 3000 | Reno, NV 89509 | www.cbre.com/reno



© 2015 CBRE, Inc. This information has been obtained from sources believed reliable. We have not verified it and make no guarantee, warranty or representation about it. Any projections, opinions, assumptions or estimates used are for example only and do not represent the current or future performance of the property. You and your advisors should conduct a careful, independent investigation of the property to determine to your satisfaction the suitability of the property for your needs. CBRE and the CBRE logo are service marks of CBRE, Inc. and/or its affiliated or related companies in the United States and other countries. All other marks displayed on this document are the property of their respective owners. 80402157-58730

